



File Ref: SP/0005/16  
Your Ref:  
Enquiries: Aiton Sheppard Ph. 9405 5462

28 October, 2009

RPS Koltasz Smith  
PO Box 127  
BURSWOOD WA 6100

Attn: Matt Zuvela

Dear Sir

**DETAILED AREA PLAN - LOTS 25 & 26 KEMP STREET & RESERVE 15018  
(ASHBROOK PARK), PEARSALL**

I refer to the abovementioned Detailed Area Plan (DAP) and advise that the City adopted and signed this modified DAP on 7 October 2009 in accordance with the provisions of Part 9 of District Planning Scheme Number 2.

The Agreed DAP will be included as an appendix to Part 1 of the Council's copy of the Agreed Structure Plan and will be available on the City's website.

Please find enclosed a certified version for your information.

Yours faithfully

**Aiton Sheppard**  
**SENIOR PROJECT PLANNER**

Enc.

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# DETAILED AREA PLAN

Lots 25 & 26 Kemp St & Reserve 15018 (Ashbrook Park), PEARSALL

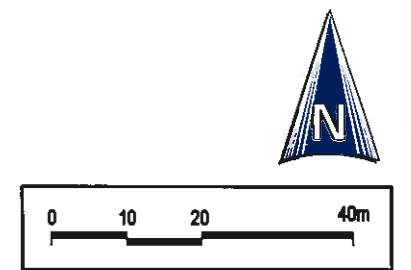
## NOTES

- 1) Carriageway treatments and street landscaping is illustrative only
- 2) Proposed Neighbourhood Centre site layout is indicative only

ENDORSED BY THE CITY OF WANNEROO

*[Signature]*  
MANAGER PLANNING SERVICES

7/10/2009  
DATE



Gundaroo Investments Pty Ltd : CLIENT  
1:1,000@A3 : SCALE  
10 August 2009 : DATE  
LM-175-4-001c : PLAN No  
c : REVISION  
M.Z : PLANNER  
M.H : DRAWN

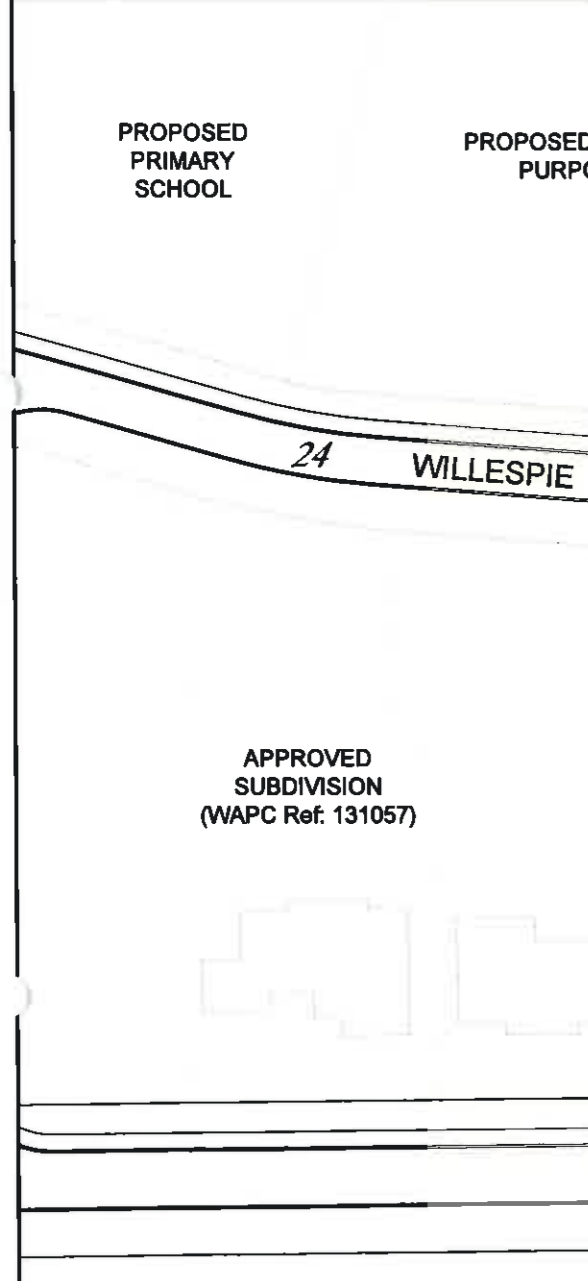
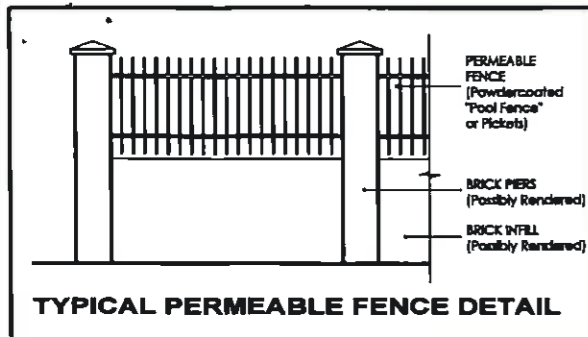
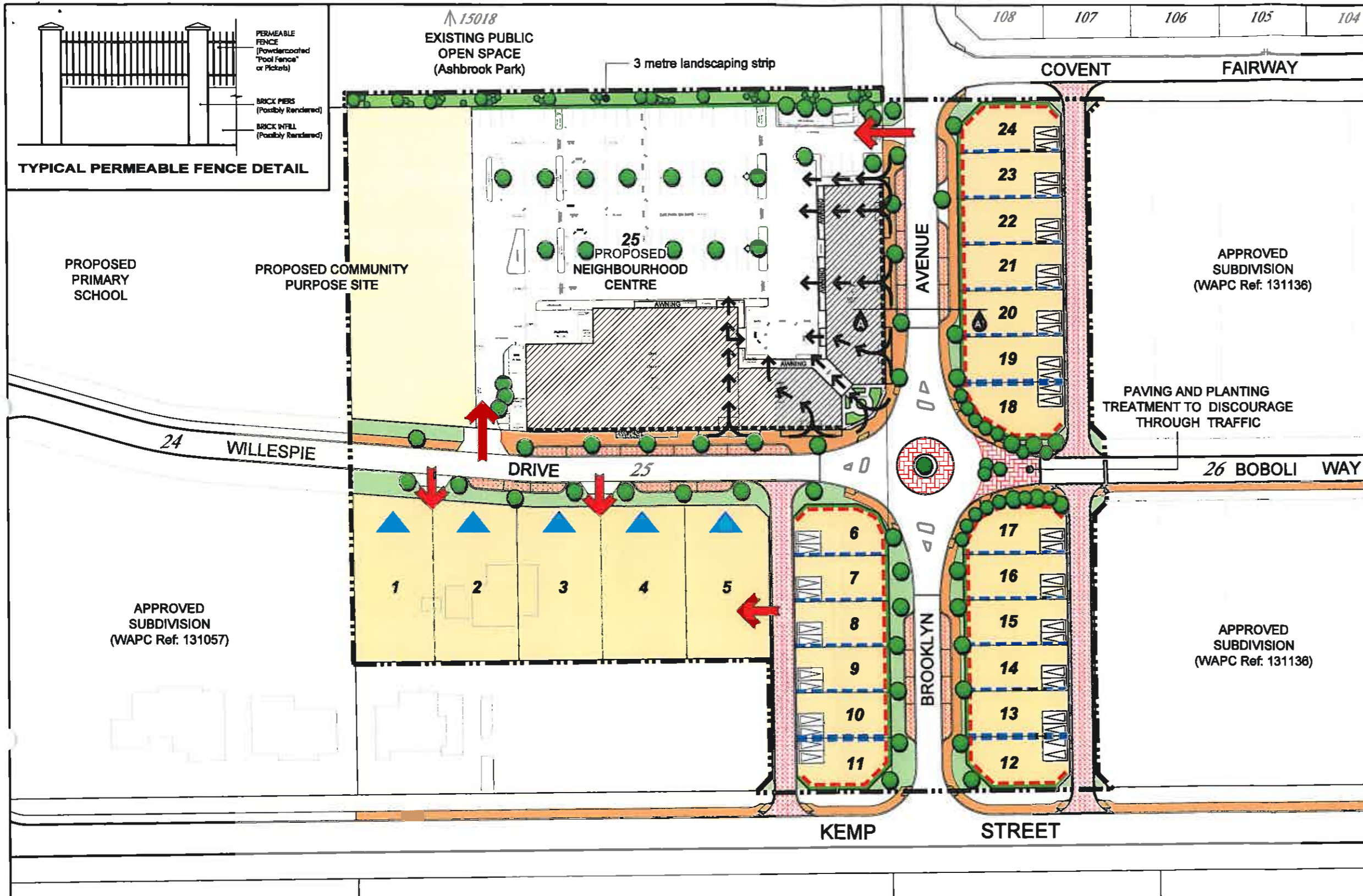
Base data supplied by the Meter Corporation

Projection MGA Zone 50

Areas and dimensions shown are subject to final survey calculations. All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.

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PO Box 127 BURSWOOD WA 6100 Email: rps@rps.com.au



### LEGEND

Subject Land	Front dwellings must be orientated towards Primary Street	Building must have an active street frontage, a canopy extending over the footpath by a minimum of 1.5m, 70% glazed frontage below canopy height, and primary entrances to tenancies opening directly onto the footpath. Nominated 0 metre Neighbourhood Shopping Centre setback	NLA - not to exceed 2100m <sup>2</sup>
Footpaths	Visitor car parking	Nominated minimum 2m and average 3m residential front setback to the primary subdivision road	Verge
Preferred garage location	Permeable Fencing Required	Nominated location of access point (reciprocal rights of access legal agreement where required)	Brick Paving
Nominated residential 0 metre side setback	Residential development	Pedestrian Access	Red Asphalt