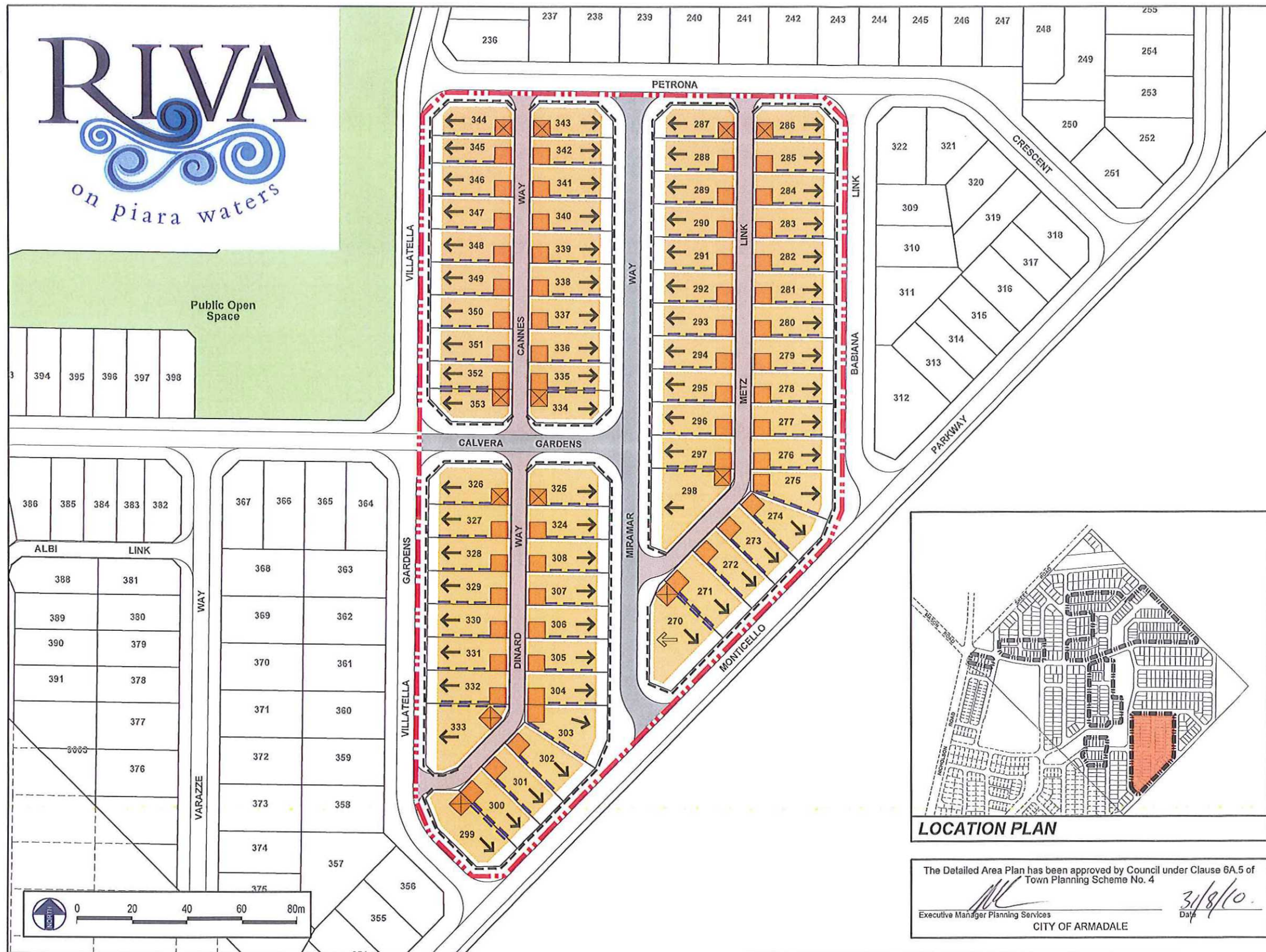


RIVA

on piara waters



The requirements of the Residential Design Codes (R-Codes) apply to all lots in the DAP area unless otherwise varied below or illustrated within the DAP.

GENERAL PROVISIONS

R40 Lots		
Minimum Open Space	40%	
Primary Street and Rear Laneway Setbacks	Minimum	Maximum
Primary Street (Lots with access to Rear Laneway Only)	Dwelling (including minor incursions) - 2.0m	Dwelling - 4.0m
Rear Laneway Setback	Dwelling - 1.0m Garages - 1.0m	N/A

Boundary Walls

- Indicative boundary wall locations have been shown on the DAP (length and height of boundary walls to be as per the R-Code requirements).

Access

- All lots with access to rear laneways shall obtain vehicular access from the laneway only.

Dwelling Orientation

- The design of dwellings shall include a primary/front style elevation orientated in the direction of the arrow/s shown on the DAP. The primary/front style elevation shall consist of at least one major opening overlooking the primary street and where applicable POS and/or a secondary street.
- Dwellings should be designed so primary indoor living areas (e.g. living rooms - dining areas - kitchens) and a private useable outdoor area (e.g. verandah, pergola, patio or an outdoor living area) accessible from a habitable room are on the north side of the dwelling. These indoor and outdoor areas shall be positioned so they are open to winter sun but protected from summer sun with sufficient eaves or other shade structures. In instances where the front of the lot is orientated to the north, outdoor living areas as required by the R-Codes do not necessarily need to be within front setback areas.

Fencing

- Fencing along a secondary street frontage shall be visually permeable above 1.2m for at least two thirds of its length (fencing needs to take in to consideration Provision No. 1 under Building Orientation above - i.e. a visually permeable section needs to be in front of applicable major openings overlooking a secondary street).

Letter Boxes

- All letter boxes shall address the primary street.

Other Provisions

- Front verandahs, pergolas, patios or the like at the front of a dwelling shall be constructed as an integral part of dwelling and be constructed in the same materials as the dwelling.



The Detailed Area Plan has been approved by Council under Clause 6A.5 of Town Planning Scheme No. 4

Executive Manager Planning Services
CITY OF ARMADALE

Date: 31/8/10

LEGEND

- DAP Boundary
- Development Area
- Indicative boundary wall location
- No Vehicle Access

- Developer Provided Permeable Fencing
- ← Building orientation to Primary Street and where applicable POS
- ⇐ Building orientation to secondary street
- Required Garage Location / Carport / Parking Space

- Indicative Garage Location / Carport / Parking Space
- Private Open Space location to ensure it overlooks Public Open Space

Whitby Land Company : CLIENT
1:1,500@A3 : SCALE
24 August 2010 : DATE
190_1-4-001.dgn : PLAN No
J : REVISION
R.S. : PLANNER
R.F. : DRAWN
R.S. : CHECKED



RPS Environment and Planning Pty Ltd
ACN 108 680 977
ABN 45 108 680 977
PO Box 465 Subiaco WA 6904
38 Station Street
Subiaco WA 6008
T +61 8 9211 1111
F +61 8 9211 1122
W rpsgroup.com.au

© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment
not permitted. Please contact the author.

DAP - Area 6

Riva on Piara Waters

Base data supplied by Landgate

Projection MGA Zone 50

Areas and dimensions shown are subject to final survey calculations.
All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.